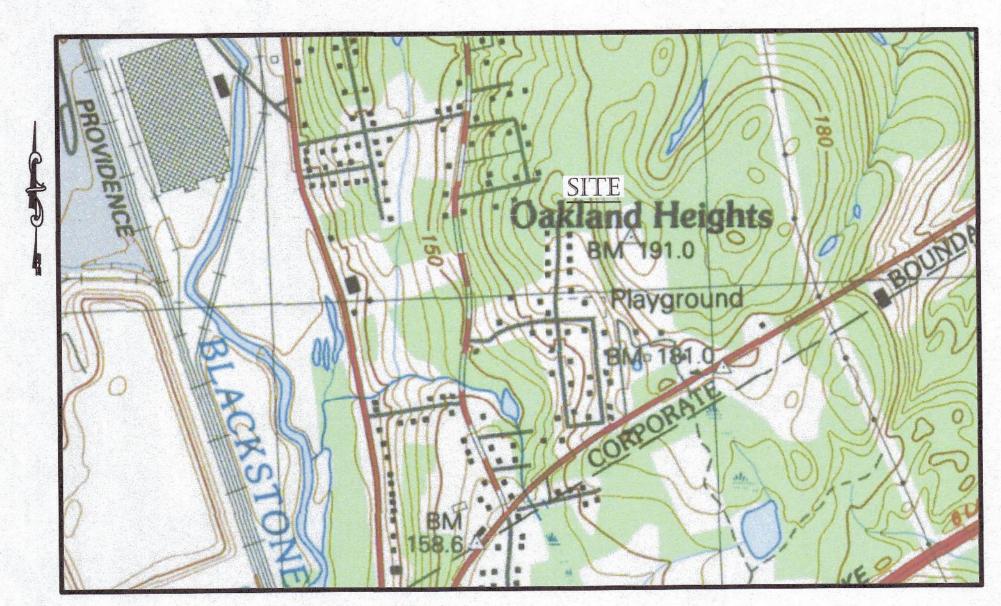
# Single Family House

56 Park Hill Avenue Worcester, MA 01604



LOCUS MAP - AERIAL



LOCUS MAP - USGS

## DRAWING LIST

SHEET TITLE	SHEET NUMBER		
COVER SHEET	C-0.0		
EXISTING CONDITIONS & EROSION CONTROL	C-1.0		
LAYOUT PLAN	C-2.0		
SEPTIC DESIGN	C-3.0		
CONSTRUCTION DETAILS	C-4.0		

### PROPERTY INFORMATION

OWNER OF RECORD:

CAROL ANN KUSY 400 GREENWOOD STREET MILLBURY, MA 01527

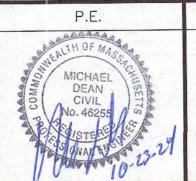
WORCESTER ASSESSORS INFORMATION: MAP 45, PARCEL 15, LOT 2 TOTAL AREA: 24,900 S.F.

DEED REFERENCES: WORCESTER REGISTRY OF DEEDS: BK. 68258, PG. 155

ZONING INFORMATION: RS-7 - DISTRICT MIN. AREA - 7,000 S.F. MIN. FRONTAGE - 65' FRONT YARD - 20' SIDE YARD - 8' REAR YARD - 20' MAX. BUILDING HEIGHT 2+ STORIES - 35' MAX. COVERAGE 40%

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V	V	D& Civil	Eng	inee	ring	8	Lar
						ALMER DE	

P.L.S.



		REVISIONS
REV.	DATE	DESCRIPTION
PRO	JECT NO.	J-230
DESI	GNED BY	PML
CHEC	CKED BY	MD
DATE		10/8/24

Carol Ann Kusy 400 Greenwood Street, Millbury, MA 01527

J-230 SITE PLAN

APPLICANT: Joseph A. Marinella 56 Park HIII Ave, Worcester Ma P:(508)-918-9766

TITLE:

CAD FILE

PLAN NO.

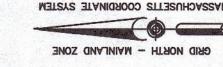
Single Family House 56 Park Hill Avenue Worcester, MA 01604

SHEET TITLE

COVER SHEET

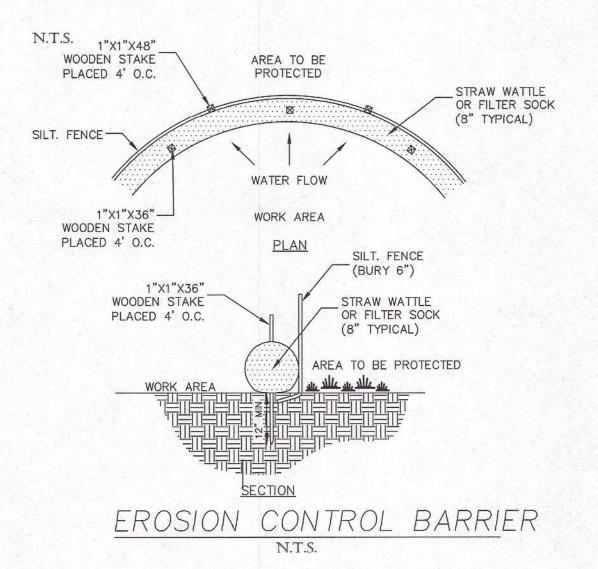
SHEET NO.

C-0.0



#### NOTES

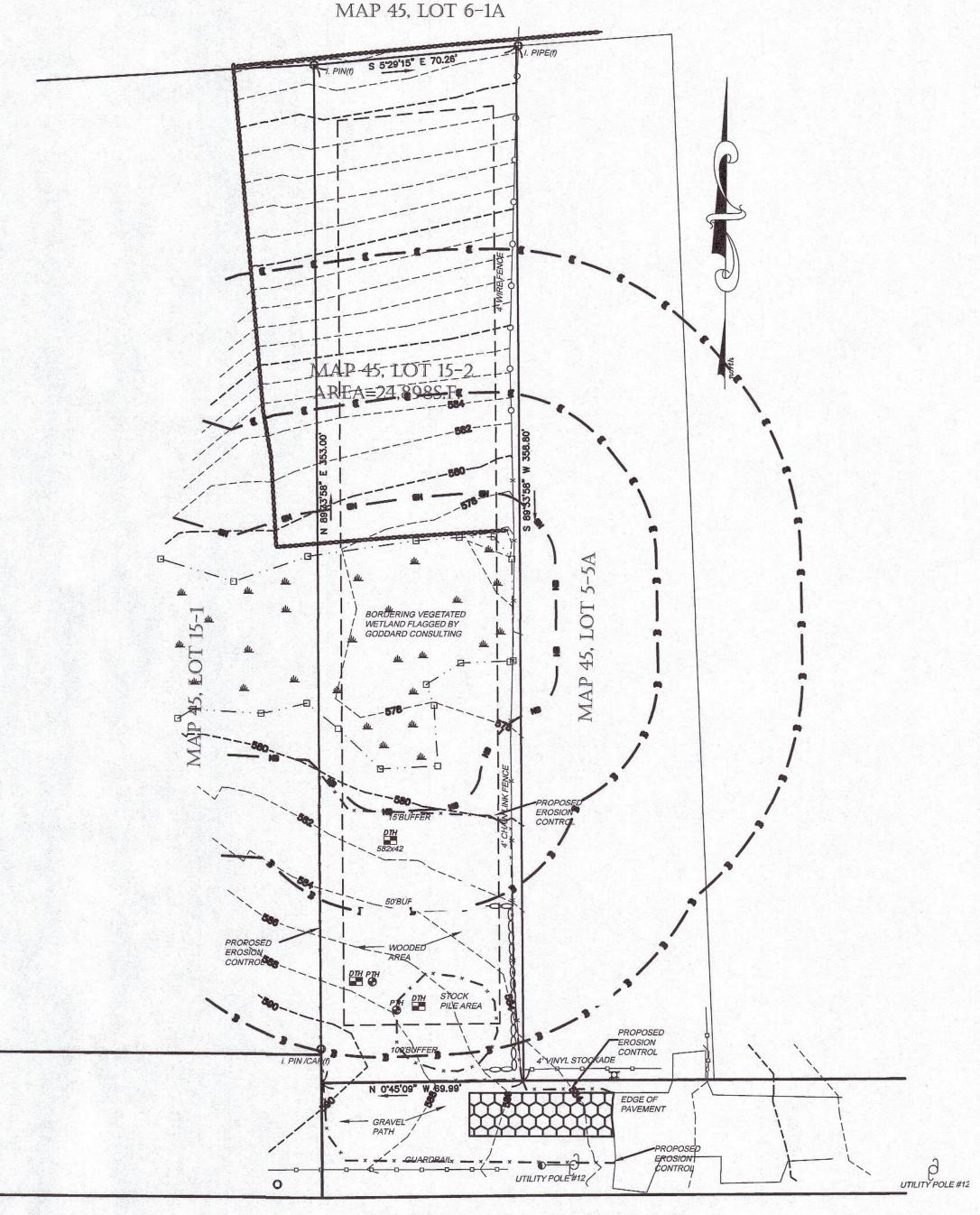
- 1. DEED REFERENCE IN THE WORCESTER REGISTRY OF DEEDS IS DEED 68258, PAGE 155
- 2. ASSESSOR REFERENCE: 45/0015/002 IN THE CITY OF WORCESTER ASSESSORS MAPS.
- 3. THE PURPOSE OF THIS PLAN IS FOR THE THE DEVELOPMENT OF THE EXISTING LOT AT 56 PARK HILL AVENUE
- 4. BENCHMARK TO BE SET PRIOR TO START OF PROJECT.
- 5. CONTRACTOR TO VERIFY THE WATER IN PARK HILL AVENUE PRIOR TO START OF CONSTRUCTION.
- 6. LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES ETC. AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES. CONTRACTOR TO CALL DIG SAFE PRIOR TO START OF PROJECT.
- 7. VERTICAL DATUM IS BANAV88 SEE PLANS FOR PROJECT BENCHMARKS HORIZONTAL DATUM IS MA STATE PLANE COORDINATES ALL DATUMS DERIVED BY GOS METHODS.
- THE SITE IS LOCATED NEAR A ZONE X FLOOD HAZARD AREA (100—YEAR FLOODPLAIN) PER FEMA FLOOD MAP PANEL 25027C0620E. DATED EFFECTIVE 7/4/2011.



LEGEN	D
EXISTING CONTOURS PROPOSED CONTOURS	
EXISTING ELEVATIONS	100.0
PROPOSED ELEVATIONS	(100x0)
EDGE OF WETLANDS	
BENCHMARK	B.M.
WATER SERVICE	W
GAS SERVICE	——GAS—
BENCHMARK	•
SEWER LINE	s
TOP OF CONCRETE	TOC

#### NOTE:

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF OTHER CONSTRUCTION ACTIVITIES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE APPLICANT TO THE SATISFACTION OF THE COMMISSIONER OF INSPECTIONAL SERVICES.
- 2. ALL TREE AND STUMP REMOVAL SHALL BE IN ACCORDANCE WITH THE ASIAN LONGHORNED BEETLE PROGRAM REQUIREMENTS AND ALL NEW TREES AND SHRUB PLANTINGS SHALL BE ASIAN LONGHORNED BEETLE AND EMERALD ASH BORER RESISTANT.
- 3. ALL WORK SHALL CONFORM TO THE CITY OF WORCESTER'S ZONING ORDINANCE, PLANNING BOARD DECISION AND CONDITIONS OF APPROVAL, AND TO THE STANDARDS CONTAINED IN THE CITY OF WORCESTER, DEPARTMENT OF PUBLIC WORKS & PARKS, ENGINEERING DIVISION, CONSTRUCTION MANAGEMENT SECTION, STANDARD SPECIFICATIONS & DETAILS, MOST RECENT EDITION.



PARK HILL AVENUE

EXISTING CONDITIONS & EROSION CONTROL PLAN

SCALE: 1"=30"



UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 {1(888)DIG-SAFE}.

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO

# D&L Design Group Civil Engineering & Land Surveying

115 Water Street • Milford, MA 01757 P:(508) 408-2577 www.dandldesigngroup.com

P.E.	P.L.S.
ENTH OF MASS	
MICHAEL DEAN CIVIL NO. 462551	
No. 462551 / S	
PONACY 24	
PIDNACES 24	

REVISIONS

EV. DATE DESCRIPTION

DESCRIPTION

PROJECT NO. J-230

DESIGNED BY PML

CHECKED BY MD

DATE 9/23/24

CAD FILE J-230 SITE PLAN

PLAN NO.

Carol Ann Kusy
400 Greenwood Street, Millbury, MA 01527

APPLICANT:

Joseph A. Marinella

56 Park HIII Ave, Worcester Ma

P:(508)-918-9766

1777

Single Family House

56 Park Hill Lake Avenue
Worcester, MA 01604

SHEET TITLE

EXISTING CONDITIONS
PLAN

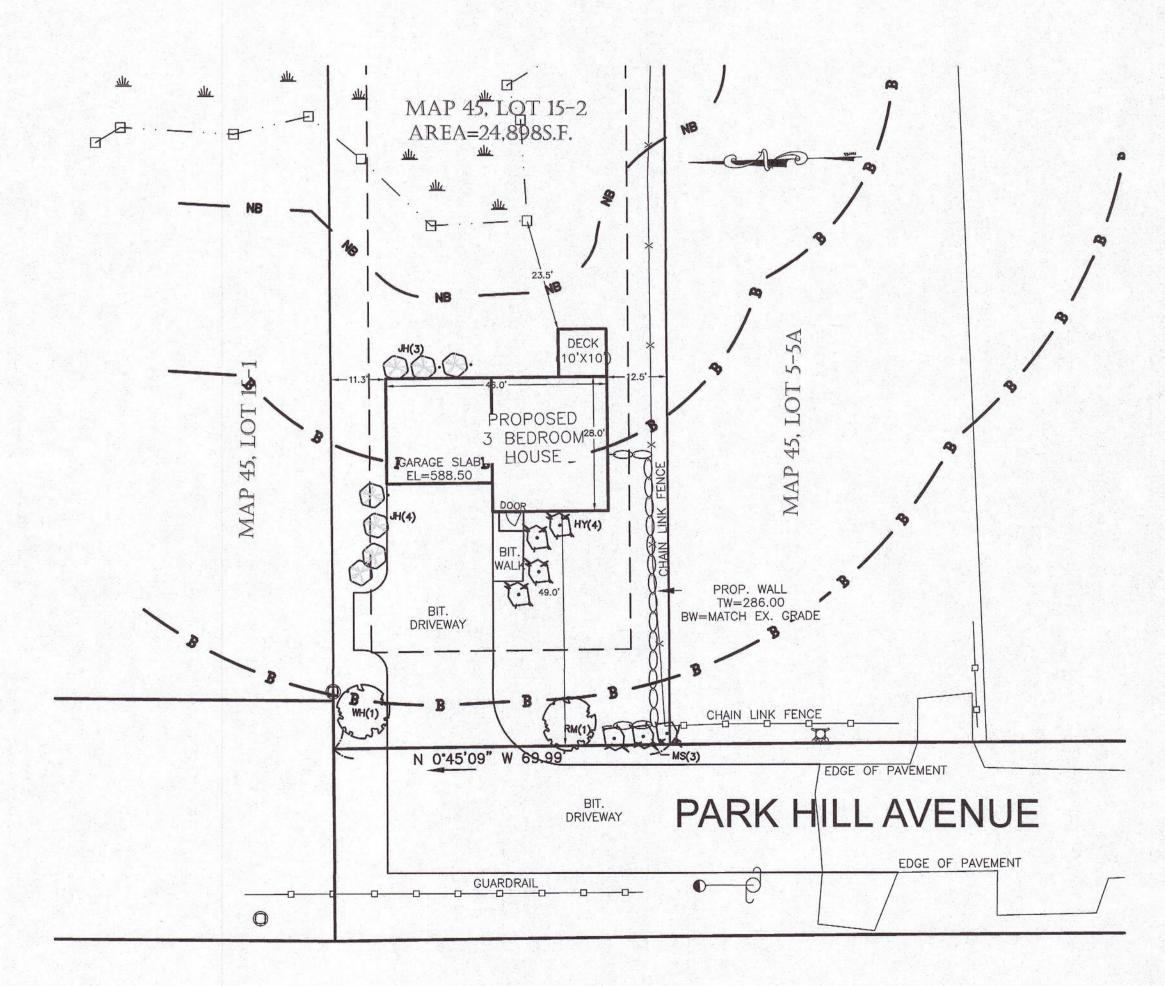
SHEET NO.

C-1.0

ZC	NE: RS-7	
REQUIRED	D: EXISTING	PROPOSED
MIN. FRONTAGE: 65'	69.99'	69.99'
MIN. AREA: 7,000 S.F.	24,900 S.F.	24,900 S.F.
FRONT SETBACK: 20'	N/A	49'
SIDE SETBACK: 8'	N/A	11.3'
REAR SETBACK: 20'	N/A	270.7
MAXIMUM STORIES 2+	N/A	2
MAXIMUM IN FT. 35'	N/A	25'
MAXIMUM FRONT YARD IMPERVIO	US 50% N/A	31%
PARKING SPACES 2 PER UN		4
REGULARITY FACTOR >0.4	N/A	0.8

Planting Schedule

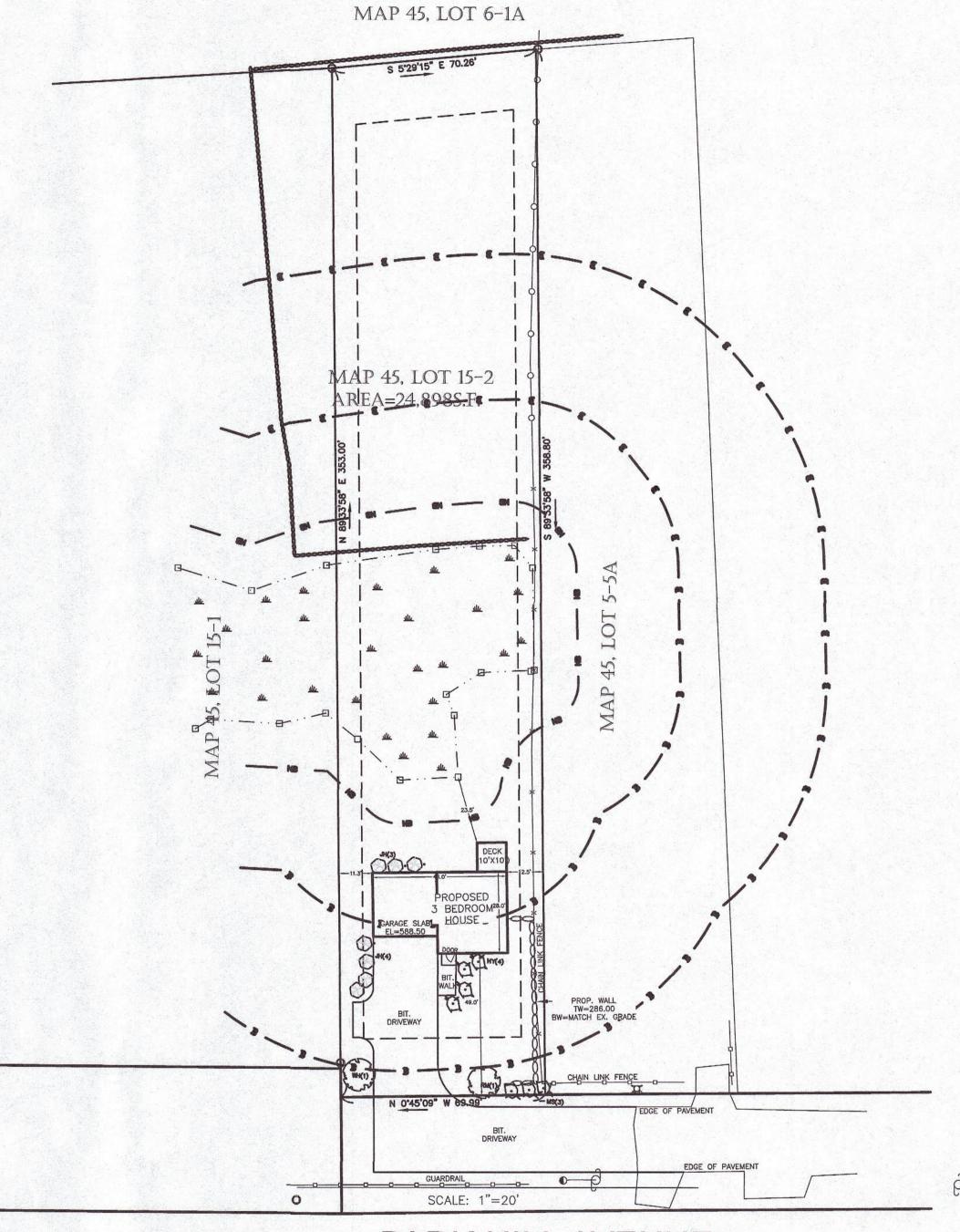
	9	001100000			
Qty	.Key	Common Name	Size	Rema	rks
TRE	ES				
1	WH	Washinbgton Hawthorn	4-5		B&B
1	RM	Red Maple	4-5'		B&B
SHR	UBS				
			2 1/2"	-3" Cal.	
8	JH	Japanese Holly	2 1/2"	-3" Cal.	B&B
4	HY	Hatfield Yew		-3" Cal.	B&B
3	MS	Mixed Shrubs & Grasses	2 1/2"	-3" Cal.	B&B



SITE PLAN - 20 SCALE

SCALE: 1" = 20'





PARK HILL AVENUE

## PROPOSED SITE PLAN

SCALE: 1"=30'

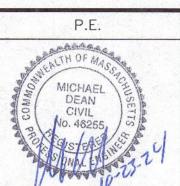


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P.L.S.

REV. DATE DESCRIPTION

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TITI

Single Family House

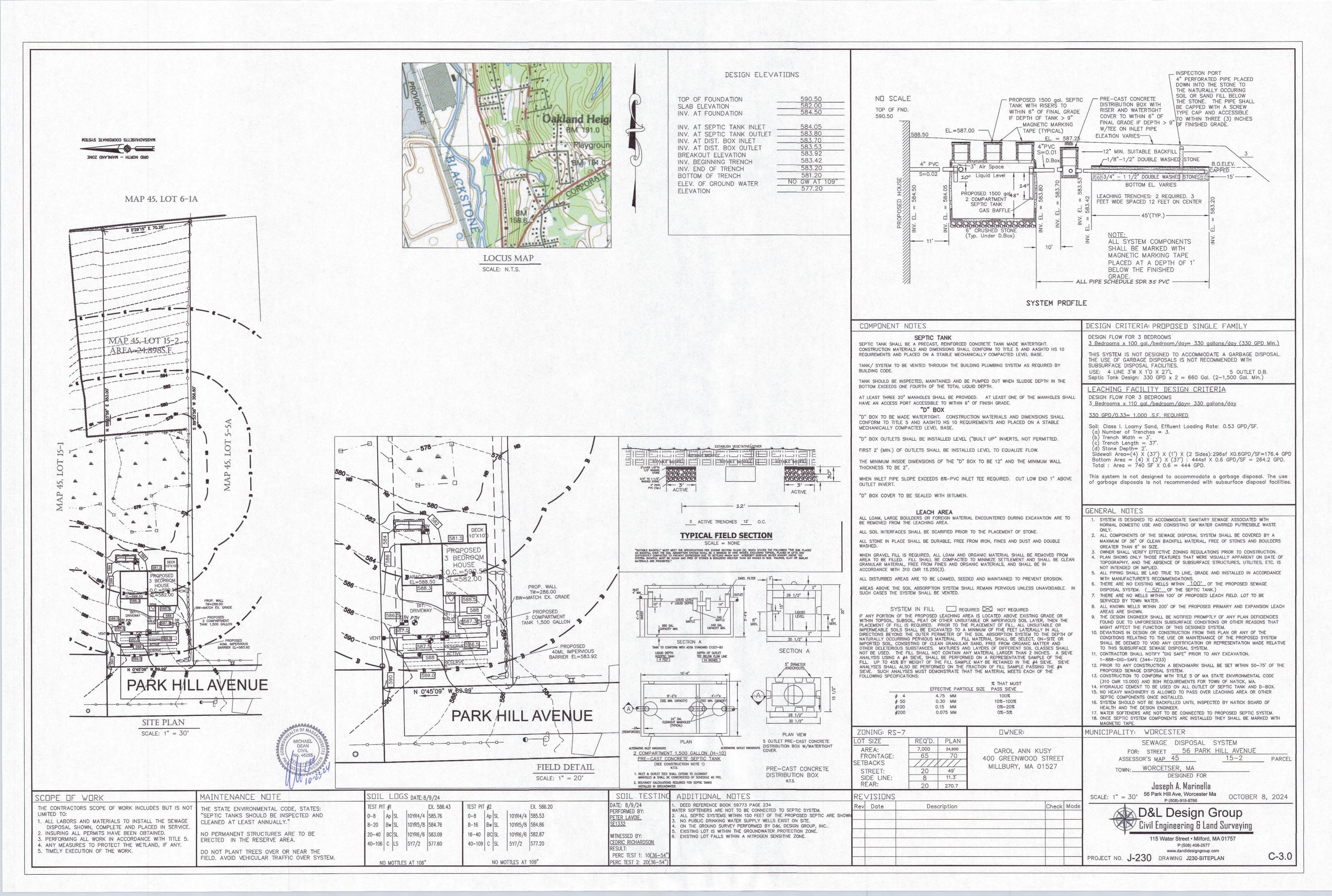
56 Park Hill Lake Avenue
Worcester, MA 01604

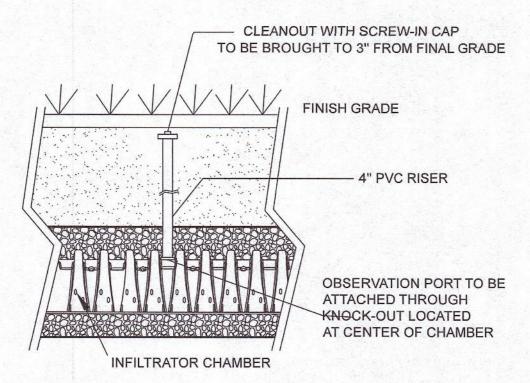
SHEET TITLE

LAYOUT PLAN

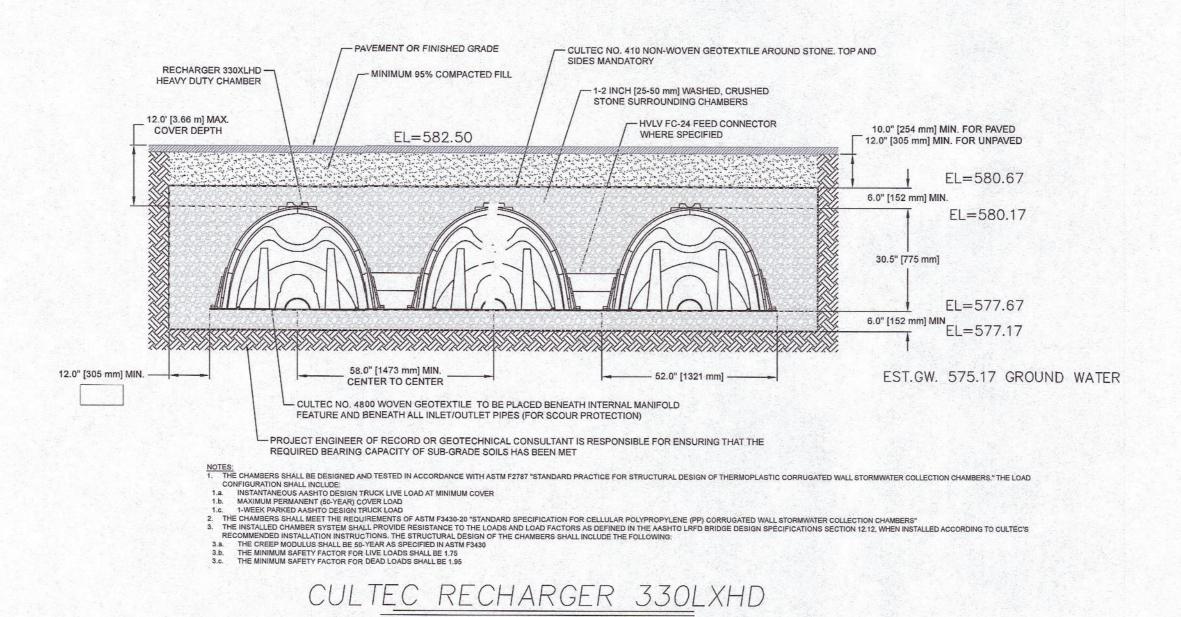
SHEET NO.

C-2.0



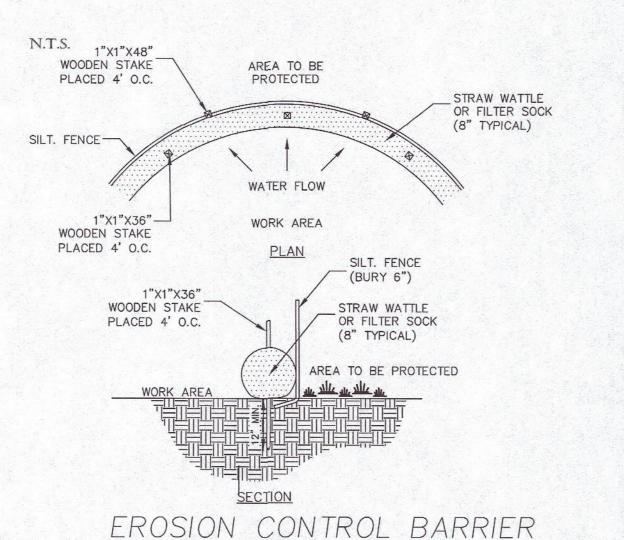


INFILTRATOR CHAMBER INSPECTION PORT DETAIL N.T.S.

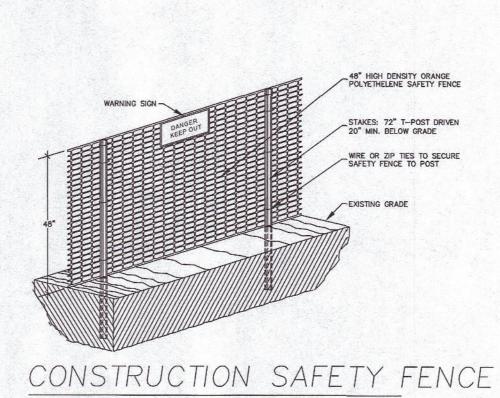


ROOF LEADER PROPOSED HOUSE COVERFLOW PIPE SPLASH BLOCK CAP WITH LOCK SLAB FOOTING w/CONCRETI

DRAIN DRYWELL DETAIL



N.T.S.



N.T.S.

- WIDTH PER PLAN -11/2" TOP COURSE -6" LOAM AND 11/2" BINDER COURSE -8" MASSDOT M2.01.7 DENSE-GRADED CRUSHED STONE (COMPACTED TO 95% MODIFIED PROCTOR) COMPACTED SUBGRADE BITUMINOUS WALKWAY SECTION NTS 1) DO NOT EXTEND BASE GRAVEL AS SHOWN WHEN WALKWAYS AREA ABUTTING ROAD, WALKWAY, OR OTHER HARD SURFACE. 2) BINDER COURSE: - MASSDOT M3.11.03, TABLE A, "HMA INTERMEDIATE COURSE DENSE BINDER" OR SUPERPAVE INTERMEDIATE COURSE - 19.0MM (MIXTURE DESIGNATION SIC - 19.0). \*SIDEWALK: - SHALL FOLLOW THE WORCESTER DPW REGULATIONS AND PROVIDED 1.5 OF BINDER AT DRIVEWAY ENTRANCE. 3) TOP COURSE: - MASSDOT M3.11.03, TABLE A, "SURFACE COURSE STANDARD TOP" OR SUPERPAVE SURFACE COURSE - 12.5MM (MIXTURE DESIGNATION SSC - 12.5).
\*SIDEWALK: - SHALL FOLLOW THE WORCESTER DPW
REGULATIONS AND PROVIDED 1.0 OF TOP AT DRIVEWAY

DTH#1

SOIL LOGS DATE: 8/9/24

0-8 Ap SL 10YR4/4 585.76

8-20 | Bw | SL | 10YR5/8 | 584.76

40-106 C LS 5Y7/2 577.60

NO MOTTLES AT 106"

10YR6/6 583.09

8-24 Bw SL

DTH#3

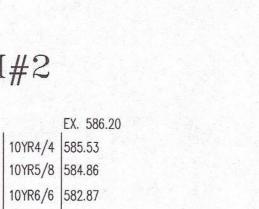
24-120 C LS 5Y7/2 572.42

MOTTLES AT 87"

10YR4/4 581.75

10YR6/6 580.42

20-40 BC SL



DTH#2

NO MOTTLES AT 109"

8-16 | Bw | SL

16-40 BC SL

40-109 C SL

P.L.S.

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REVISIONS REV. DATE DESCRIPTION PROJECT NO. J-230 DESIGNED BY PML CHECKED BY MD

> Carol Ann Kusy 400 Greenwood Street, Millbury, MA 01527

J-230 SITE PLAN

10/8/24

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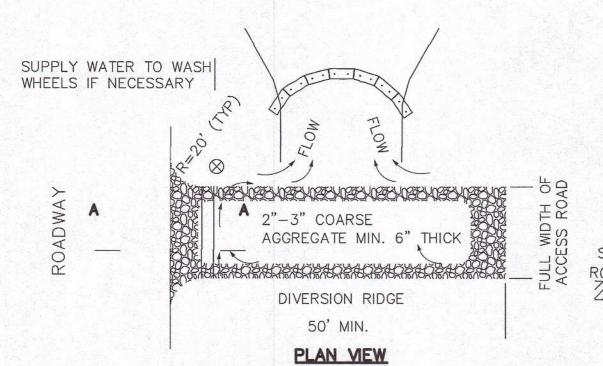
Single Family House 56 Park Hill Avenue Worcester, MA 01604

SHEET TITLE

CONSTRUCTION DETAILS

SHEET NO.

C-4.0



[1] THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING,

REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. [2] WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC

RIGHT-OF-WAY. [3] WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AREA STABILIZED WITH CRUSHED

STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. [4] USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

CONSTRUCTION ENTRANCE

N.T.S.

DIVERSION RIDGE REQUIRED

SECTION A - A

WHERE GRADE EXCEEDS 2%

SPILLWAY 2% OR GREATER

